



CITY OF PRATTVILLE

BILL GILLESPIE, JR.
MAYOR

CITY COUNCIL

WILLIE WOOD, JR.
PRESIDENT
DISTRICT 2

ALBERT C. STRIPLIN
PRESIDENT PRO TEMPORE
DISTRICT 1

DENISE B. BROWN
DISTRICT 3

JERRY STARNES
DISTRICT 4

GARY L. WHITESIDE
DISTRICT 5

RAY C. BOLES
DISTRICT 6

LORA LEE BOONE
DISTRICT 7

City of Prattville Historic Preservation Commission

The minutes of the December 17, 2015 special meeting of the City of Prattville Historic Preservation Commission were approved.

Thea Langley, Chairman

1/28/16-2/4/16

Date

Planning & Development Department

102 West Main Street ■ Prattville, Alabama 36067 ■ 334-595-0500 ■ 334-361-3677 Facsimile
planning.prattvilleal.gov



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DISTRICT 6

LORA LEE BOONE
DISTRICT 7

**CITY OF PRATTVILLE
HISTORIC PRESERVATION COMMISSION
AGENDA
December 17, 2015
4:30 p.m.**

Call to Order:

Roll Call:

Chairman Langley, Vice-Chairman Price, Mr. Barrett, Ms. Chieves, Mrs. Davis, Ms. Kirkpatrick and Mr. Smith.

Minutes:

March 26, 2015, June 25, 2015 and October 1, 2015

Old Business:

None

New Business:

- | | | |
|--------------|---|------------------------------|
| 1. CA1512-01 | Certificate of Appropriateness
Alterations-Wall Addition
124 West Main Street
Hancock Bank, Petitioner | <i>Public Hearing</i> |
| 2. CA1512-02 | Certificate of Appropriateness
Alterations-Rear Exit Door Replaced
119 West Main Street
Rickie Sanderson, Petitioner | <i>Public Hearing</i> |

Miscellaneous:

Adjourn:

Planning & Development Department

102 West Main Street ■ Prattville, Alabama 36067 ■ 334-595-0500 ■ 334-361-3677 Facsimile
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**CITY OF PRATTVILLE
HISTORIC PRESERVATION COMMISSION
MINUTES
December 17, 2015
Special Meeting**

Call to order:

The special meeting of the Prattville Historic Preservation Commission was called to order on Thursday, December 17, 2015 at 4:33 p.m.

Roll Call:

The secretary called the roll. Members present were Chairman Thea Langley, Vice-Chairman Gray Price, Mr. Will Barrett, Ms. Lenore Kirkpatrick and Mr. Larry Smith. Members Absent: Mrs. Kate Chieves and Mrs. Jean Davis.

Quorum present

Also present was Mr. Joel Duke, City Planner and Ms. Alisa Morgan, Secretary.

Minutes:

There were no minutes available for approval.

Old Business:

There was no old business to discuss.

New Business:

Certificate of Appropriateness

Alterations-Wall Addition

124 West Main Street

Hancock Bank, Petitioner

Tonya Robertson of Hancock Bank, petitioner's representative, presented the request to add a stud wall to the existing drive thru window lane.

Mr. Duke provided the staff report for the Certificate of Appropriateness for property at 124 West Main Street stating that the standard review should be less stringent because the structure is non-contributing structure.

There were no public comments.

Mr. Price moved to approve the request as submitted. Mr. Barrett seconded the motion.

The motion to approve passed unanimously.

Certificate of Appropriateness

Alterations-Rear Exit Door Replaced

119 West Main Street

Rickie Sanderson, Petitioner

Mr. Smith disclosed that he had a possible conflict of interest to the case and would abstain from voting on the request.

Rickie Sanderson, petitioner, presented the request to replace the rear door and relocate and add handrail.

Approved 2/4/16

Mr. Duke provided the staff report for the Certificate of Appropriateness for property at 119 West Main Street stating that the modification meet the requirements of the guidelines and approval would bring the structure into building code compliance.

There were no public comments.

Ms. Kirkpatrick moved to approve the request as submitted. Mr. Price seconded the motion.

The motion to approve passed by 4/0 vote. Mr. Smith abstained.

Miscellaneous:

Adjourn:

With no further business, the meeting was adjourned at 4:54 p.m.

Respectfully submitted,



Alisa Morgan, Secretary
Historic Preservation Commission

Prattville Historic Preservation Commission
Sign-In Sheet
12/17/15
4:30 p.m.

Name	Address
1. Tonya Robertson	4437 Atlanta Highway Montgomery
2. Rickie Sanderson	480 Pickett Mill Rd Autaugaville AL
3.	
4.	
5.	
6.	
7.	
8.	
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10.	
11.	
12.	
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18.	
19.	
20.	
21.	

**PRATTVILLE HISTORIC PRESERVATION COMMISSION
CERTIFICATE OF APPROPRIATENESS**

PETITIONER: **HANCOCK BANK**
 228 SAINT CHARLES AVENUE, SUITE 313
 NEW ORLEANS, LA 70130

REQUEST: **ALTERATIONS-WALL ADDITION**
 124 WEST MAIN STREET

ORDER

The above petition having been duly considered at a public hearing meeting before the Historic Preservation Commission of the City of Prattville, and giving notice that a public hearing would be held on December 17, 2015 at the City Hall in Prattville, Alabama, and after due consideration of the party in interest, the Historic Preservation Commission of the City of Prattville **voted to approve the certificate of appropriateness** at property requested above for:

Alterations-Wall Addition-approved as submitted.

DONE THIS THE 17th DAY OF December 2015.

HISTORIC PRESERVATION COMMISSION



THEA LANGLEY, CHAIRMAN



ALISA MORGAN, SECRETARY

CITY OF PRATTVILLE
Historic Preservation Commission

Planning Department Staff Report



**CERTIFICATE OF
APPROPRIATENESS**

124 West Main Street – CA1512-01

DATE

December 15, 2015

PROPOSED DEVELOPMENT

Petitioner:

Hancock Bank

Property Owner:

Hancock Bank

Agent:

Marshall Design-Build LLC

Location:

124 West Main Street

Review Status and History

Submission Status:

Fifth request for a Certificate of Appropriateness for this address. Initial submission for this subject.

Previous Approvals:

2009 – CA0905-01 Replacement and addition of signs to the building and site – approved. CA0908-01 Enclosure of emergency generator – approved. CA0911-01 Enclosure for a dumpster facing Tichnor Street - approved.

2011 – CA1112-01 Replacement and addition of signs to the building and site – approved.

*1984/2007 Historic
Properties Inventory
Details*

124 West Main Street, Bank of Prattville (1956 and 1973, non-contributing) Montgomery architects Tiller, Butner, and Rosa designed the 1973 enlargement and renovation. Renovated in 2009 to accommodate Whitney Bank.

Proposed Alteration, Renovation or Addition

The following alteration has been requested by the applicant. See the application included as Attachment A for a description of each element.

1. Modify existing drive through window lane. Remove existing roll-up metal door and close existing lane by installing new stud wall. New wall will be a painted board and batten style. New wall will include a new night deposit box.

PLANNING STAFF EVALUATION

Reviewed by: Joel T. Duke, AICP

Site Visits Conducted: December 14, 2015

Recommendation: Approval – Structure is non-contributing structure. As a result, the standard of review should be less stringent. Proposed project does not detract from the existing structure.

Commission should determine whether proposed project includes both drive openings (east and west). Proposed project should be install on both east and west.

ATTACHMENTS

- A. Application and attachments
- B. Location map



City Of Prattville
Planning and Development Department
102 W. Main Street
Prattville, AL 36067
(334) 361-3614 Fax (334) 361-3677
www.prattvilleal.gov

Application

**Certificate of Appropriateness
Prattville Historic Preservation Commission**

Application Type: Alteration Addition New Structure Demolition Sign

Applicant /Agent Information

Notarized letter from the property owner is required if agent is used for representation.

Name: Marshall Design-Build LLC
Street Address: 4437 Atlanta Highway
City: Montgomery State: AL Zip: 36109
Phone Number(s): 334-277-8820

Property Owner Information

If different than above

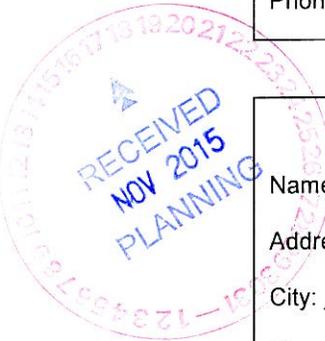
Name: Hancock Bank
Address of Property Owner: 228 St. Charles Avenue, Ste. 313
City: New Orleans State: LA Zip: 70130
Phone Number: (850) 770-7294 Sandy Portar - Contact

Property Description

County Tax Parcel Number/Legal Description: _____

Current Zoning of Property: _____ Physical Address: 124 W. Main St. Prattville, AL 36067

Proposed Alteration (general description): Install a new stud wall at entry to the existing drive thru teller window. The new wall will be a painted board and batten style architectural finish instead of a steel roll-up door. A night deposit box will be installed in the wall. New wall is 12'-0" long x 10'-0" height.



The following items must be attached to the application (check those items included):

- Scaled drawings, including elevations for two sides, showing the proposed changes to the building's exterior architectural features
- Photographs of the existing structure taken from several views. Photographs shall include several views of the entire site
- Scaled site layout including all structures, fences, walkways, driveways, signs, lighting, etc.
- Samples of proposed materials to be used (photographs may be substituted for actual materials in some cases)
- Any additional materials or documentation that will assist the Prattville Historic Preservation Committee in the review
- Application fee: Fifty dollars (\$50)
- If person signing application is someone other than property owner, attach authorization to file application (i.e. notarized letter, real estate contract, etc.)
- Demolition applications shall require the following additional information: **N/A**
 - The historic significance of the structure, including a narrative concerning any historical events or persons connected with the structure;
 - The approximate date of the original construction and the date of any major additions or alterations thereto, if known;
 - A description of the architectural style or period which the structure represents, and any other material available concerning architectural aspects of the structure;
 - At least two (2) exterior photographs of the structure, showing, as near as possible, all the exposed surfaces of the structure;
 - A statement concerning any practical difficulties in making the structure meet the minimum code requirements;
 - The present use of the property and surrounding properties and any proposed use following a demolition

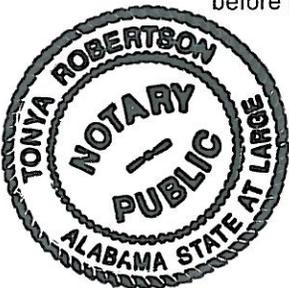
I certify that I am the property owner, or authorized agent, and attest that all facts and information provided are true and correct.

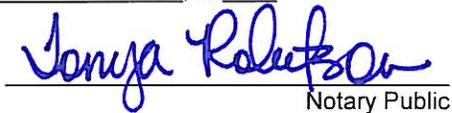
Terry Craft
Printed Name


Signature

Date 11-13-15

I the undersigned authority, a Notary Public in and for said Elmore County in the State of Alabama, herby certify that Terry Craft, whose name is signed to the forgoing petition, and who is known to me, acknowledged same before me on this the 13th day of November, 2015.

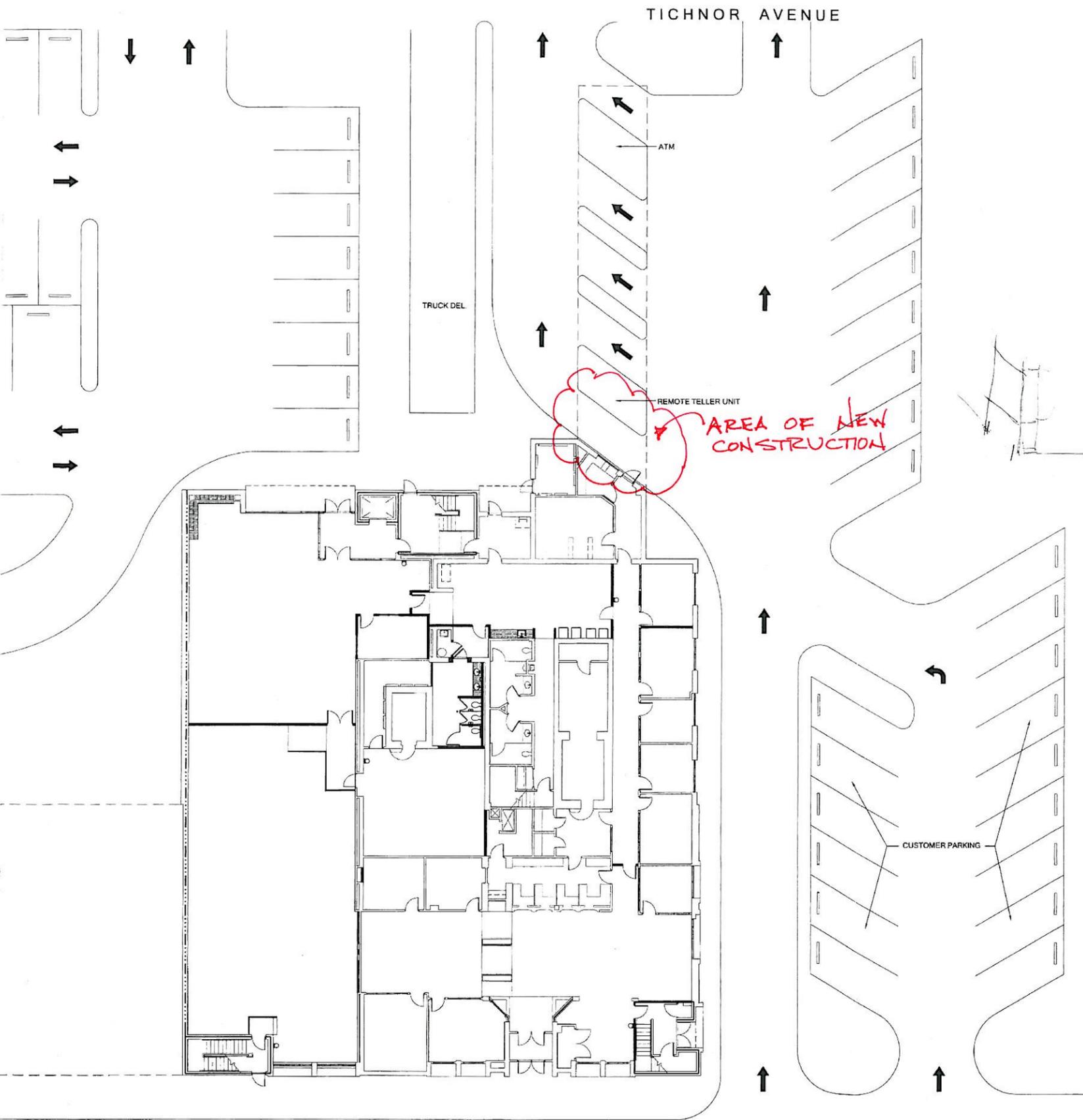



Notary Public

My commission expires 6-13-17







- ### REVISIONS
- SHEET A101:
REMOVE EXISTING THINSET PAVERS AT AREA INDICATED.
REMOVE EXISTING FEC WHERE INDICATED.
 - SHEET A102:
REMOVE CURRENT ROOFING SYSTEM WHERE INDICATED.
REMOVE EXISTING GLAZING, FRAME, AND CAULKING AS REQUIRED FOR ENTRY OF NEW EQUIPMENT.
REMOVE EXISTING WALL WHERE INDICATED, KEEP PORTIONS OF EXISTING MASONRY WALL WHERE INDICATED, ADD COLUMNS FOR STRUCTURAL SUPPORT. *SEE SHEET A105 FOR DESCRIPTION.
 - SHEET A103:
REMOVE CURRENT ROOFING SYSTEM WHERE INDICATED.
REMOVE EXISTING GLAZING, FRAME, AND CAULKING AS REQUIRED FOR ENTRY OF NEW EQUIPMENT.
REMOVE EXISTING GLAZING AND CAULKING FROM EXISTING FRAME.
INDICATES AREA OF TECTUM ROOF DECK.
 - SHEET A104:
PROVIDE NEW THINSET PAVERS THIS AREA.
DEMOLISH EXISTING CEILING AND ADD NEW 2'X2' CEILING GRID, CEILING TILE, LIGHT FIXTURES, AND REGISTERS WHERE INDICATED.
ADD WINDOW FILM TO INTERIOR OF EXISTING WINDOWS AND ADD SECURITY INFILL WHERE INDICATED.
REUSE EXISTING FEC AND RELOCATE.
 - SHEET A105:
REROOF PORTION OF ROOF WHERE INDICATED.
DEMOLISH EXISTING CEILING AND ADD NEW 2'X2' CEILING GRID, CEILING TILE, LIGHT FIXTURES, AND REGISTERS WHERE INDICATED.
REPLACE WINDOW, FRAME, AND CAULKING AS REQUIRED.
RELOCATE & ADD HVAC UNITS WHERE INDICATED.
ADD WINDOW FILM TO INTERIOR OF EXISTING WINDOWS AND ADD SECURITY INFILL WHERE INDICATED.
NEW ACCESSIBLE FLOOR HEIGHT.
ADD REDUCER STRIP.
ADD ACCESS PANEL FOR EXISTING ELECTRICAL PANEL.
CEILING DETAIL FOR DATA CENTER 211.
 - SHEET A106:
REPLACE GLAZING AND CAULKING AS REQUIRED.
REPLACE WINDOW, FRAME, AND CAULKING AS REQUIRED.
INDICATES AREA OF TECTUM ROOF DECK.
DEMOLISH EXISTING CEILING, ADD NEW 2'X2' CEILING GRID, CEILING TILE, LIGHT FIXTURES AND REGISTERS AS INDICATED.

NORTH
EXISTING SITE PLAN
SCALE: 1"=10'-0"

NOTE:
THIS DRAWING WAS BASED ON EXISTING PLANS
FINANCIAL STRUCTURES, INC.
DATED: OCTOBER 30, 1987

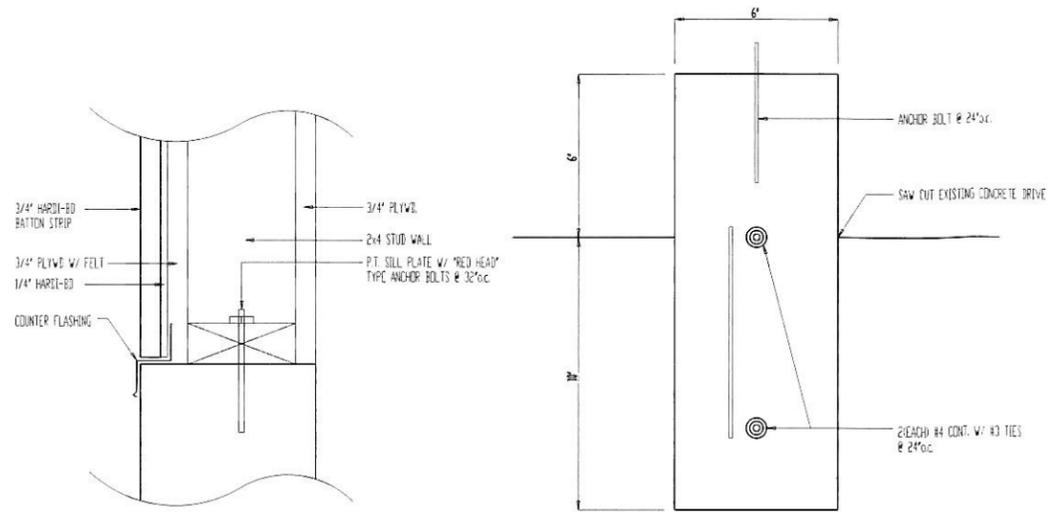
**PARSONS
WIBLE
BRUMMAL
ALKIRE
ARCHITECTS, INC.**
525 SOUTH FERRY ST.
MONTGOMERY, ALABAMA 36104
(205) 244-4000
(205) 244-4071 FAX

**EDWARD M.
BRUMMAL, JR.
1810
ALABAMA
REGISTERED ARCHITECT**

Marshall
 DESIGN-BUILD, LLC

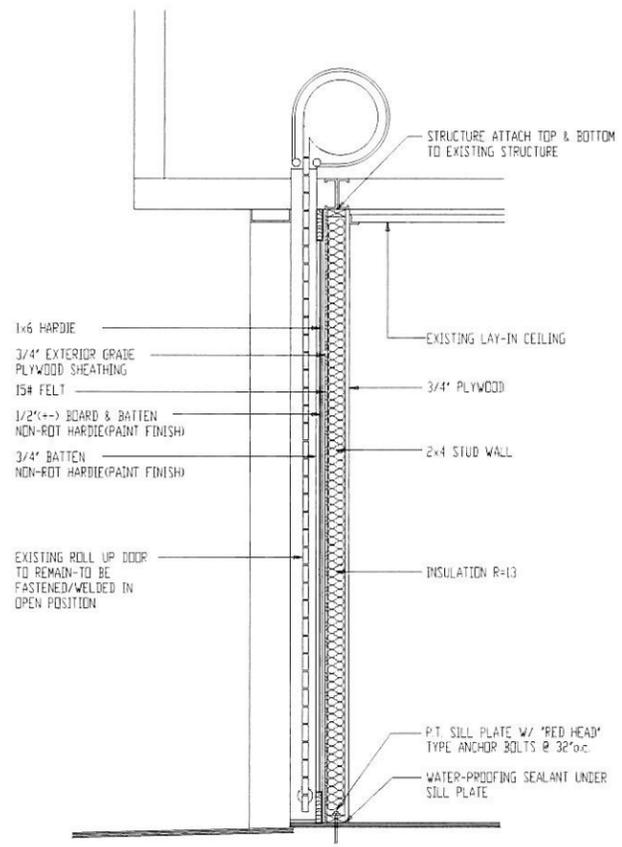
**ALTERATIONS TO PRATTVILLE MAIN
OFFICE FOR WHITNEY NATIONAL BANK**
 PRATTVILLE, ALABAMA

PROJECT NO.	PROJECT NUMBER	DRAWING DATE
280202	08-13-2008	
DESIGNER	CHECKER	
WDD	EMB	
SHEET TITLE		
SITE PLAN		
SHEET NUMBER		
C101		
DRAWING NO.	PROJECT NO.	

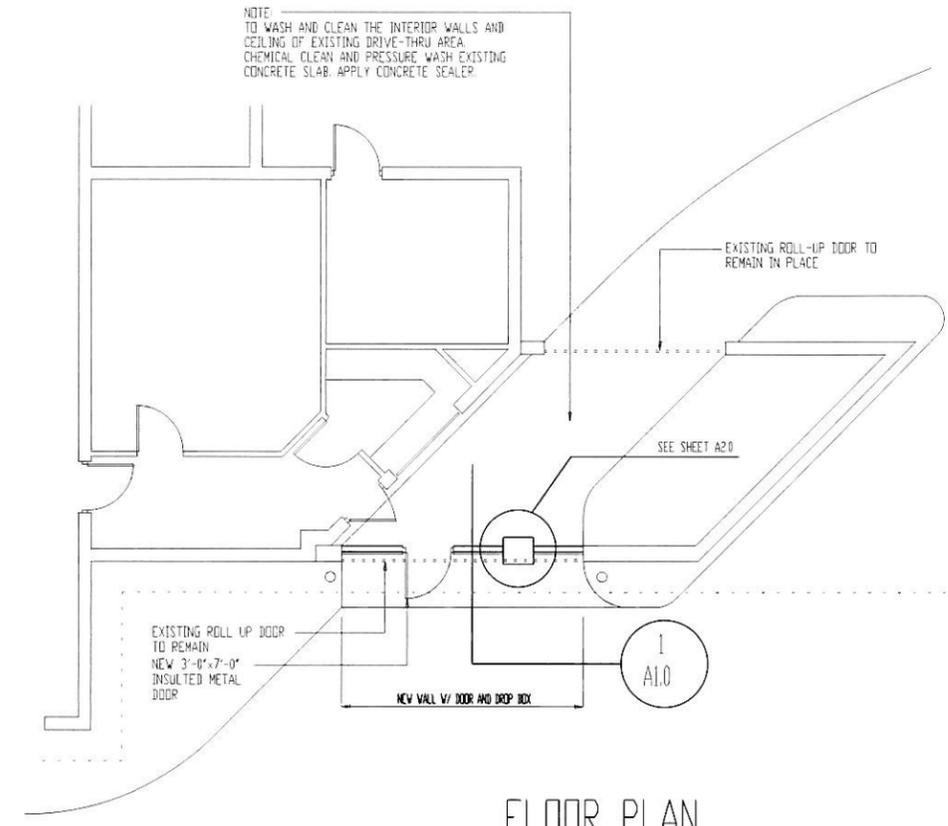


A
A1.0
DETAIL
SCALE: 3" = 1'-0"

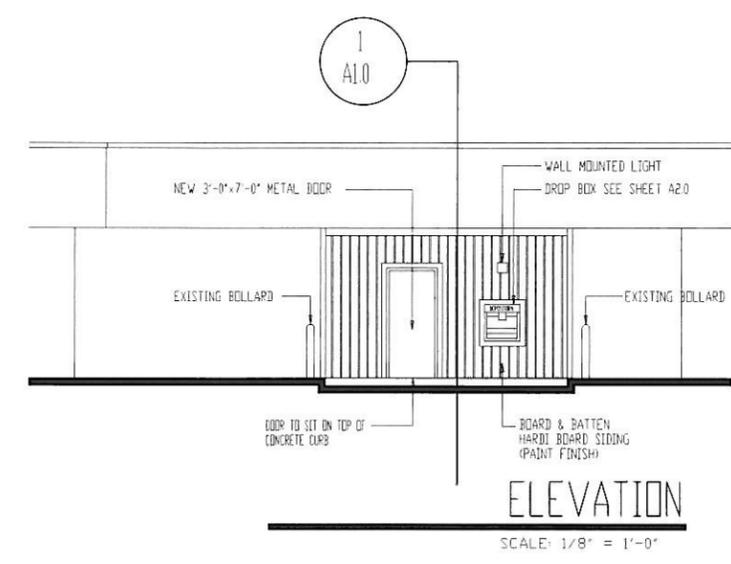
B
A1.0
CURB DETAIL
SCALE: 3" = 1'-0"



1
A1.0
SECTION
SCALE: 3/4" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"



ELEVATION
SCALE: 1/8" = 1'-0"

OWNER

DRIVE THRU WALL
ADDITION FOR
HANCOCK BANK

DESIGN PROFESSIONAL



DLM ARCHITECT, INC.
P.O. BOX 231658
MONTGOMERY, ALABAMA 36123
PH. 334-271-9991
FAX 334-271-6077

SHEET TITLE	
FLOOR PLAN/ELEVATION/ SECTION/DETAIL	
PROJECT NUMBER	TCBANK
FILE NUMBER	A11
DATE	NOV 02, 2015
REVISION	
REVISION	
SHEET NUMBER	

A1.0

CITY OF
PRATTVILLE, AL

124
W MAIN ST

Zoning: B-2

Scale: 1" = 100'



— STREETS
□ TAX PARCEL



**PRATTVILLE HISTORIC PRESERVATION COMMISSION
CERTIFICATE OF APPROPRIATENESS**

**PETITIONER: RICKIE SANDERSON
119 WEST MAIN STREET
PRATTVILLE, AL 36066**

**REQUEST: ALTERATIONS-WALL ADDITION
119 WEST MAIN STREET**

ORDER

The above petition having been duly considered at a public hearing meeting before the Historic Preservation Commission of the City of Prattville, and giving notice that a public hearing would be held on December 17, 2015 at the City Hall in Prattville, Alabama, and after due consideration of the party in interest, the Historic Preservation Commission of the City of Prattville **voted to approve the certificate of appropriateness** at property requested above for:

Alterations-Wall Addition-approved as submitted.

DONE THIS THE 17th DAY OF December 2015.

HISTORIC PRESERVATION COMMISSION



THEA LANGLEY, CHAIRMAN



ALISA MORGAN, SECRETARY

CITY OF PRATTVILLE

Historic Preservation Commission

Planning Department Staff Report



CERTIFICATE OF APPROPRIATENESS

119 West Main Street – CA1512-02

DATE

December 15, 2015

PROPOSED DEVELOPMENT

Petitioner: Rickie Sanderson
Property Owner: Rickie Sanderson
Agent: N/A
Location: 119 W. Main Street

Review Status and History

Submission Status: First submission for this address.

Previous Approvals: N/A

Conditions of Previous Approvals: None

1984/2007 Historic Properties Inventory Details **119 West Main Street, Yarborough-Laney Building (circa 1960, non-contributing):** This is a one-story cinderblock with a glazed aluminum front. (Source: Thomason and Associates, 2007 Inventory of Daniel Pratt Historic District)

Proposed Alteration, Renovation or Addition

The following changes have been requested by the applicant. See the application included as Attachment B for the owner's description of each item.

1. Relocate existing rear doorway – create stairway landing and recessed doorway.

PLANNING STAFF EVALUATION

Reviewed by: Joel T. Duke, AICP

Site Visits Conducted: December 14, 2015

Recommendation: Approve door relocation and handrail style and location.

Request door and handrail colors that blend with the building style and appearance.

Evaluation:

The requested alterations were reviewed against the standards contained in the *Prattville Commercial Design Review Guidelines Manual*. The relevant sections of manual are included. Staff comments/evaluation follow the relevant sections.

Item 1. Relocate existing rear doorway – create stairway landing and recessed doorway.

Doors and Entrances (page 18)

Doors are often buildings' central visual elements, so are particularly important features. Historic entrances and doors should be retained, visible, maintained, and, if needed, repaired. Missing or severely deteriorated doors should be replaced with historically appropriate doors. **Screen, storm, and security doors should not detract from the historic appearance of their building.**

6. Clear-glass single-light painted wood doors with or without paneling are most appropriate for replacing primary doors in the district's commercial buildings. **The opening in secondary entrances may be smaller or doors may be solid wood. Dark or bronze anodized metal, though less appropriate, may be substituted for wood.**

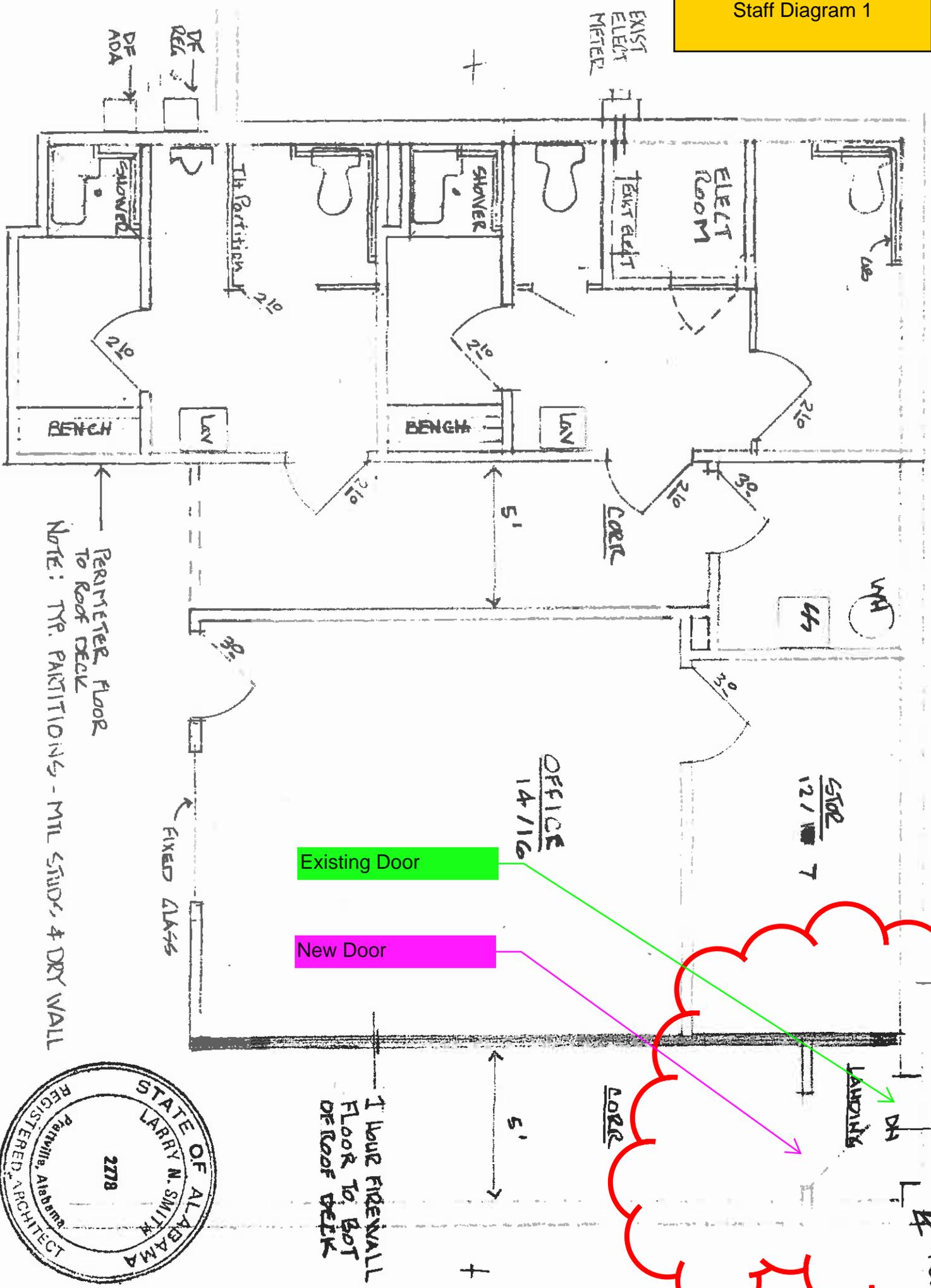
9. **Security doors may be used on doors not visible from the street.**

Analysis: In order to bring the non-contributing structure into building code compliance, the owner is required to create a level landing at the top of the rear staircase (Staff Diagrams 1 and 2). The owner has elected to create the level landing by removing the existing door, leaving the doorway and creating a new, recessed doorway and door four feet inside the existing doorway. Code also requires installation of a handrail on one side of the staircase. The proposed door will be steel. The proposed handrail will be fabricated out of steel pipe. The interior of the level landing will be lined with dark gray corrugated.

The proposed modification appears to meet the requirements outlined in the Commission's guidelines.

ATTACHMENTS

- A. Staff Diagrams 1 and 2
- B. Application and attachments
- C. Location Map



Existing Door

New Door

PERIMETER FLOOR TO ROOF DECK
NOTE: TYP. PARTITIONS - MIL STUDS, 4 DRY WALL

1 HOUR FIREWALL FLOOR TO BOT OF ROOF DECK



REAR EXHANCE RECESS

SURVEYOR'S NOTES:

Staff Diagram 2

NO UNDERGROUND UTILITIES, BUILDING FOUNDATIONS OR MEASURED OR LOCATED AS OTHERWISE SHOWN. TREES AND SHRUBS NOT LOCATED, UNLESS OTHERWISE SHOWN.

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A RETRACEMENT AND/OR BOUNDARY SURVEY ONLY, AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL, OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER SIMILAR ENTITY.

THIS SURVEY WAS CONDUCTED WITHOUT REFERENCE TO AN ABSTRACT OR TITLE SEARCH BUT MATERIAL FROM SOURCE OF INFORMATION HEREON WAS USED.

SUBJECT TO EASEMENTS, CLAIMS OF EASEMENTS, RIGHTS-OF-WAYS, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN BY PUBLIC RECORDS AND/OR NOT PROVIDED THAT ARE NOT DEPICTED ON THIS SURVEY.

TIE FOR THIS SURVEY TAKEN FROM HISTORIC DEEDS AND OR PLATS.

LEGAL DESCRIPTION:

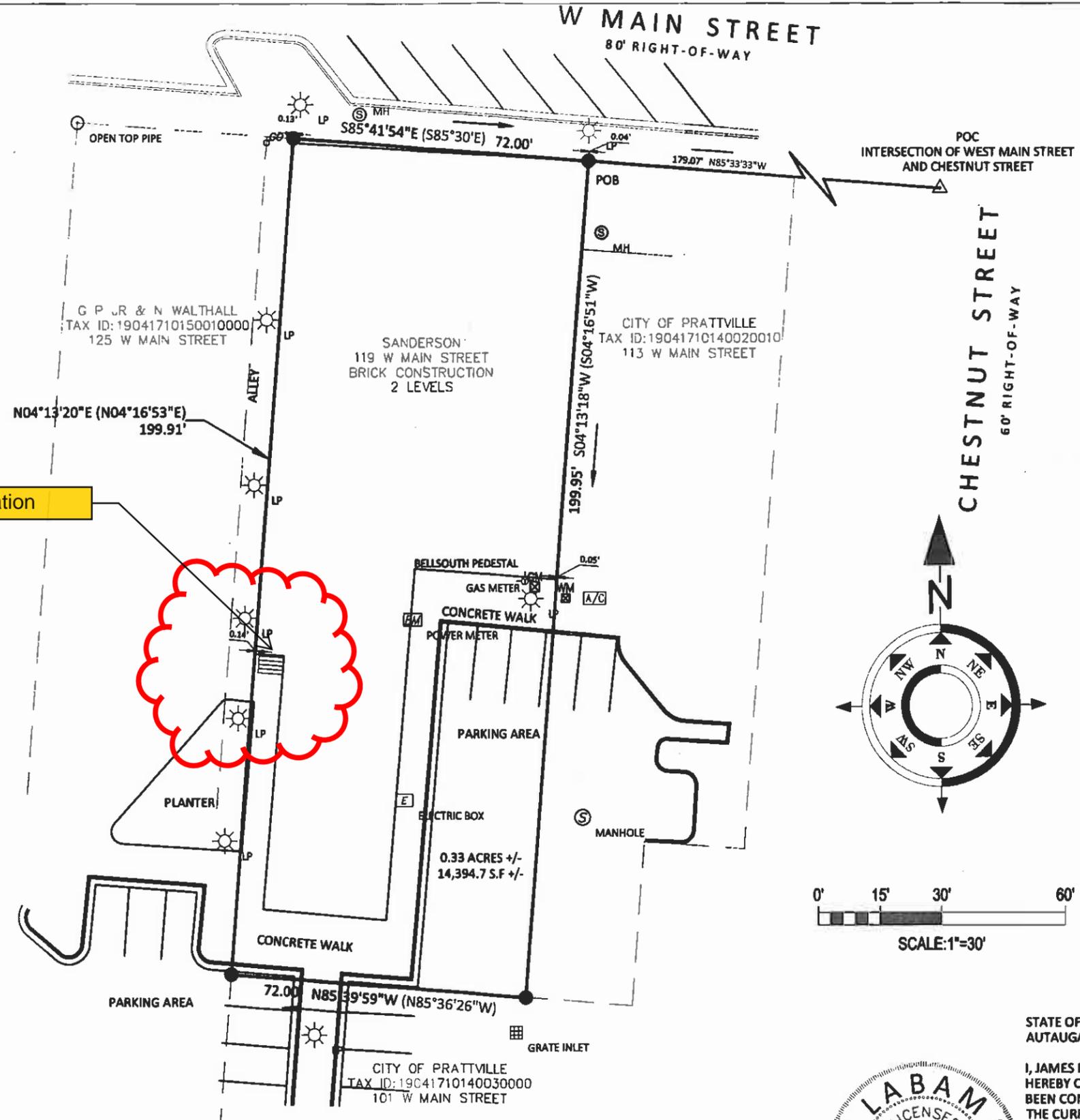
STATE OF ALABAMA
AUTAUGA COUNTY

COMMENCE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CHESTNUT AND MAIN STREET IN THE CITY OF PRATTVILLE, ALABAMA; GO N 85° 30' W ALONG THE SOUTH RIGHT-OF-WAY OF MAIN STREET 179.07' TO THE POINT OF BEGINNING; THENCE S04° 16'51"W AND ALONG AN EXISTING PARTY WALL A DISTANCE OF 199.95' TO A POINT; THENCE N85° 36'26"W, 72.0' TO A POINT ON THE EAST SIDE OF AN ALLEY; THENCE N04°16'53"E ALONG EAST SIDE OF ALLEY 199.91' TO A POINT ON THE SOUTH RIGHT-OF-WAY OF MAIN STREET; THENCE S 85°30' E, ALONG SAID RIGHT-OF-WAY 72.0' TO THE POINT OF BEGINNING.

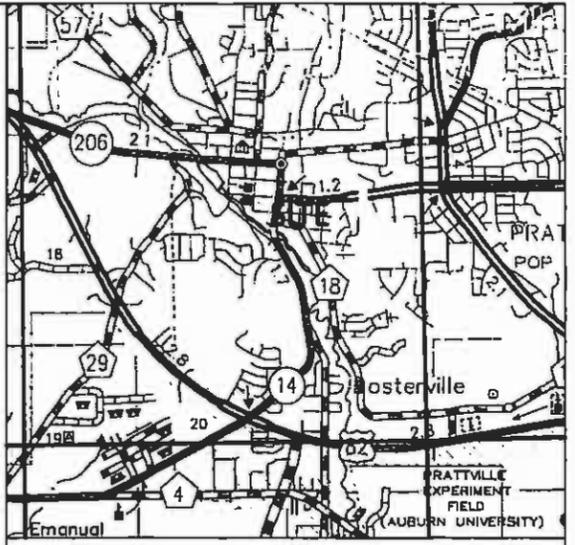
ALL LYING IN THE NE 1/4, SECTION 17, TOWNSHIP 19 NORTH, RANGE 16 EAST, AUTAUGA COUNTY, ALABAMA

SOURCE OF INFORMATION:
FOLLOWING DEEDS AND OR PLATS RECORDED IN AUTAUGA COUNTY, ALABAMA:

- RLPY 2014, PAGE 1774
- AUTAUGA COUNTY TAX MAPS



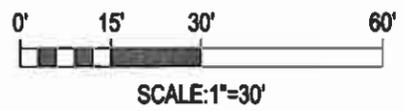
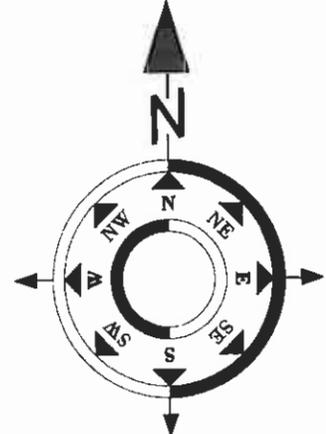
Project Location



VICINITY MAP NTS



119 W MAIN ST NTS



MONUMENTATIONS	ABBREVIATIONS	ABBREVIATIONS
⊙ - FOUND IRON PIN	AC - ACRES / SQ. FT. - SQUARE FEET	CONC - CONCRETE
⊙ - SET IRON PIN (ALS-0173)	(DLX) - RECORDED DISTANCE / BEARING	DR - DRAINAGE
△ - CALCULATED POINT	XLX - FIELD MEASURED DISTANCE / BEARING	PR - PLAT BOOK
⊠ - CONCRETE MONUMENT	ROW - RIGHT OF WAY	DB - DEED BOOK
⊞ - FENCE POST	UTIL - UTILITY	PG - PAGE
	ESMT - EASEMENT	
LINE TYPES		
---	EASEMENT LINE	
---	FENCE LINE	
---	ADJOINING PROPERTY	
---	RIGHT OF WAY LINE	

Alabama Land Surveyors, Inc.
752 S Memorial Drive, Prattville, AL 36067
334-264-0266 www.alabamalandsurveyors.us

STATE OF ALABAMA
AUTAUGA COUNTY

I, JAMES D. MONK, A PROFESSIONAL LAND SURVEYOR OF ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE CURRENT STANDARDS OF PRACTICE OF SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY SIGNATURE AND SEAL THIS THE 16TH DAY OF JULY, 2015.

J.D. Monk
JAMES D. MONK, P.L.S., ALABAMA LICENSE NO. 34763

SHEET TITLE:	NO.	REVISIONS	DATE
RETRACEMENT SURVEY			

119 W MAIN STREET
PRATTVILLE
ALABAMA
RLPY 2014, PG 1774

SHEET NUMBER:	SURVEY END DATE:
01	7/13/2015
01 OF 01	DRAWING SCALE: AS SHOWN
	DRAWING END DATE: 7/16/2015



City Of Prattville
Planning and Development Department
102 W. Main Street
Prattville, AL 36067
(334) 361-3614 Fax (334) 361-3677
www.prattvilleal.gov

Application

Certificate of Appropriateness
Prattville Historic Preservation Commission

Application Type: Alteration Addition New Structure Demolition Sign

Applicant /Agent Information

Notarized letter from the property owner is required if agent is used for representation

Name: Rickie Sanderson
Street Address: 119 W. MAIN
City: PRATTVILLE State AL Zip: 36066
Phone Number(s): 334 300 6834

Property Owner Information

If different than above

Name: Rickie Sanderson
Address of Property Owner: 119 W. MAIN ST.
City: PRATTVILLE State: AL Zip: 36066
Phone Number: () 334 300 6834

Property Description

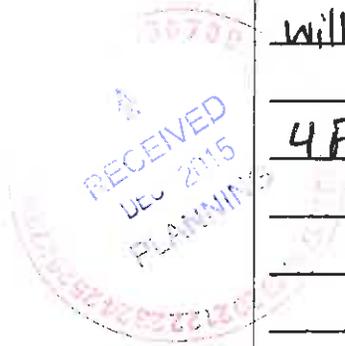
County Tax Parcel Number/Legal Description: _____
19 04 17 1 014 002.000

Current Zoning of Property: _____ Physical Address: 119 W. MAIN ST.

Proposed Alteration (general description): NEW REAR EXIT DOOR.

Existing Door will be replaced with a steel door. Door will also be recessed 4 feet to create a landing, which brings exit up to building code. A steel pipe will be added to existing stairs for handrail.

4 Foot Recess will be lined with dark grey corrugated steel/tin.



The following items must be attached to the application (check those items included):

- Scaled drawings, including elevations for two sides, showing the proposed changes to the building's exterior architectural features
- Photographs of the existing structure taken from several views. Photographs shall include several views of the entire site
- Scaled site layout including all structures, fences, walkways, driveways, signs, lighting, etc.
- Samples of proposed materials to be used (photographs may be substituted for actual materials in some cases)
- Any additional materials or documentation that will assist the Prattville Historic Preservation Committee in the review
- Application fee: Fifty dollars (\$50)
- If person signing application is someone other than property owner, attach authorization to file application (i.e. notarized letter, real estate contract, etc.)
- Demolition applications shall require the following additional information:
 - The historic significance of the structure, including a narrative concerning any historical events or persons connected with the structure;
 - The approximate date of the original construction and the date of any major additions or alterations thereto, if known;
 - A description of the architectural style or period which the structure represents, and any other material available concerning architectural aspects of the structure;
 - At least two (2) exterior photographs of the structure, showing, as near as possible, all the exposed surfaces of the structure;
 - A statement concerning any practical difficulties in making the structure meet the minimum code requirements;
 - The present use of the property and surrounding properties and any proposed use following a demolition

I certify that I am the property owner, or authorized agent, and attest that all facts and information provided are true and correct.

Rickie B. Sanderson
Printed Name

Rickie B. Sanderson
Signature

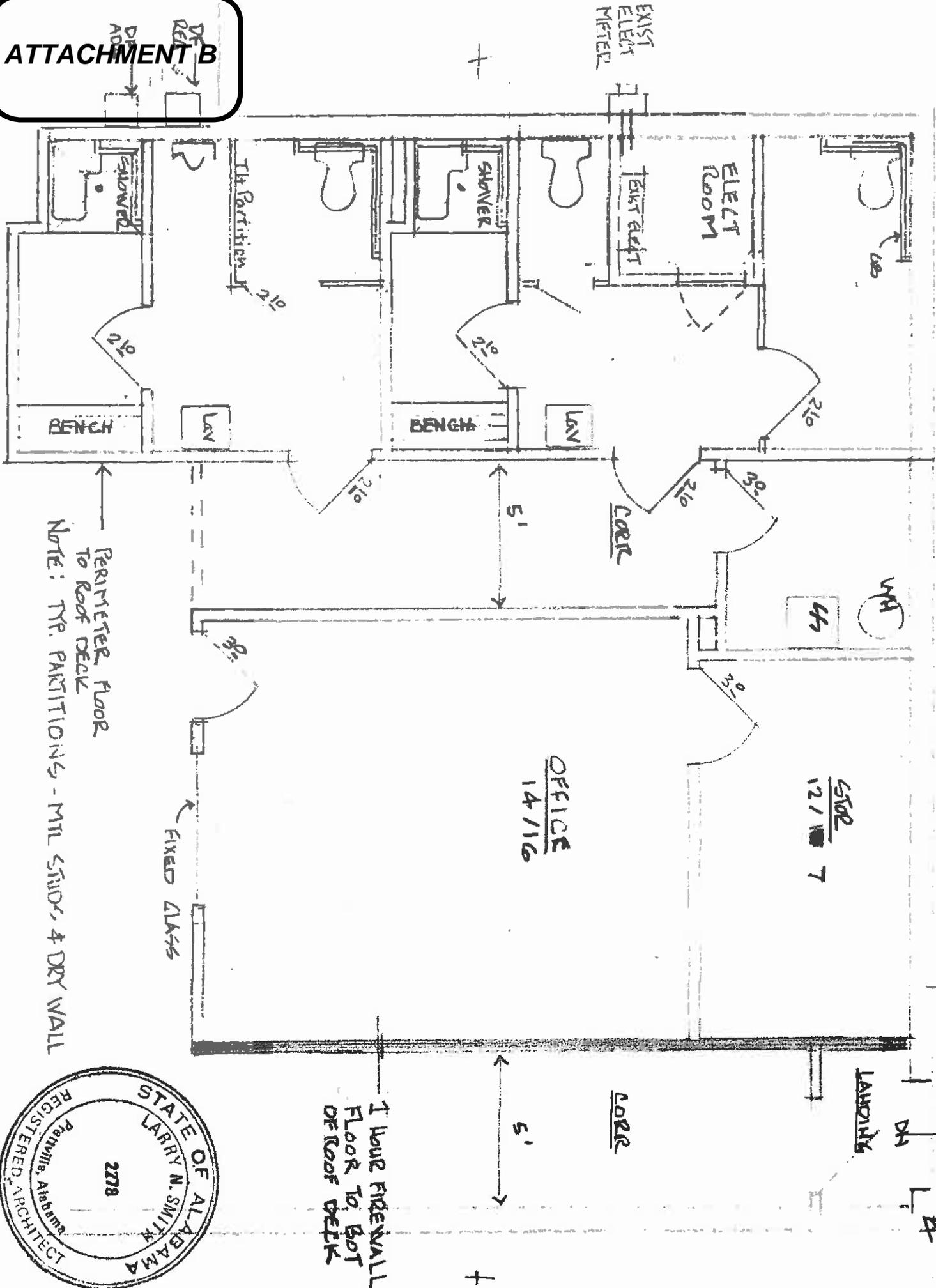
Date 12-2-15

I the undersigned authority, a Notary Public in and for said Autauga County in the State of Alabama, hereby certify that Rickie B. Sanderson whose name is signed to the forgoing petition, and who is known to me, acknowledged same before me on this the 2nd day of December, 2015.

[Signature]
Notary Public

My commission expires My Commission Expires 10/05/2019

ATTACHMENT B



PERIMETER FLOOR TO ROOF DECK
 NOTE: TYP. PARTITIONS - MIL STUDS, & DRY WALL

1 HOUR FIREWALL FLOOR TO BOT DE ROOF DECK



REAR EXHIBIT RECESS

SURVEYOR'S NOTES:

NO UNDERGROUND UTILITIES, UNDERGROUND ENCROACHMENTS OR BUILDING FOUNDATIONS OR OTHER IMPROVEMENTS WERE MEASURED OR LOCATED AS A PART OF THIS SURVEY, UNLESS OTHERWISE SHOWN. TREES AND SHRUBS NOT LOCATED, UNLESS OTHERWISE SHOWN.

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A RETRACEMENT AND/OR BOUNDARY SURVEY ONLY, AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL, OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER SIMILAR ENTITY.

THIS SURVEY WAS CONDUCTED WITHOUT REFERENCE TO AN ABSTRACT OR TITLE SEARCH BUT MATERIAL FROM SOURCE OF INFORMATION HEREON WAS USED.

SUBJECT TO EASEMENTS, CLAIMS OF EASEMENTS, RIGHTS-OF-WAYS, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN BY PUBLIC RECORDS AND/OR NOT PROVIDED THAT ARE NOT DEPICTED ON THIS SURVEY.

TIE FOR THIS SURVEY TAKEN FROM HISTORIC DEEDS AND OR PLATS.

LEGAL DESCRIPTION:

STATE OF ALABAMA
AUTAUGA COUNTY

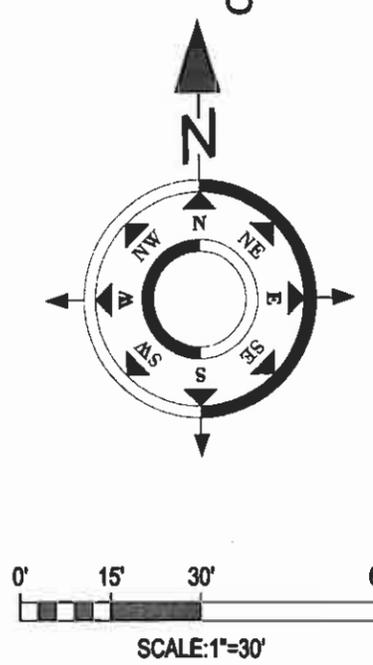
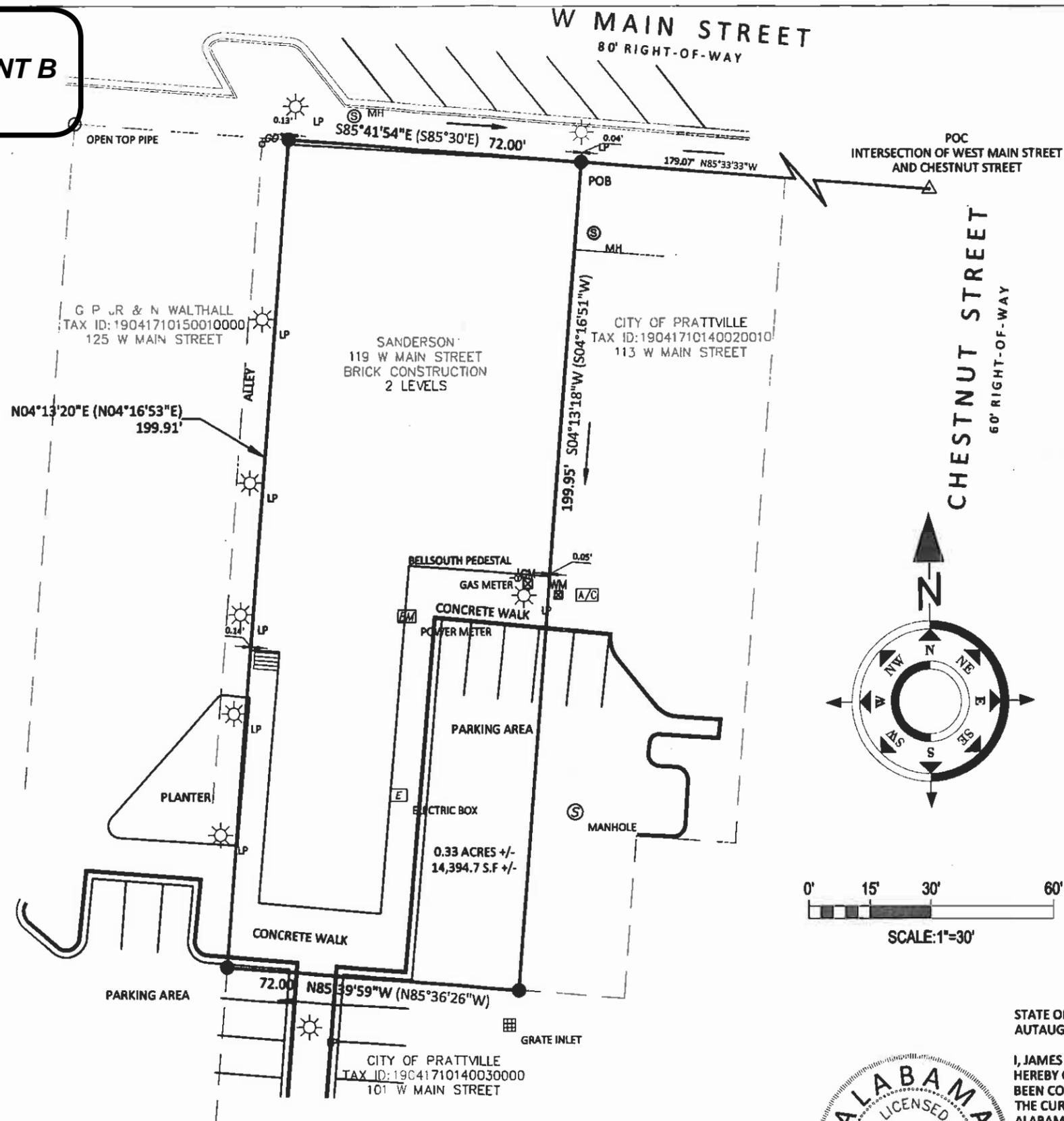
COMMENCE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CHESTNUT AND MAIN STREET IN THE CITY OF PRATTVILLE, ALABAMA; GO N 85° 30' W ALONG THE SOUTH RIGHT-OF-WAY OF MAIN STREET 179.07' TO THE POINT OF BEGINNING; THENCE S04° 16'51"W AND ALONG AN EXISTING PARTY WALL A DISTANCE OF 199.95' TO A POINT; THENCE N85° 36'26"W, 72.0' TO A POINT ON THE EAST SIDE OF AN ALLEY; THENCE N04°16'53"E ALONG EAST SIDE OF ALLEY 199.91' TO A POINT ON THE SOUTH RIGHT-OF-WAY OF MAIN STREET; THENCE S 85°30' E, ALONG SAID RIGHT-OF-WAY 72.0' TO THE POINT OF BEGINNING.

ALL LYING IN THE NE 1/4, SECTION 17, TOWNSHIP 19 NORTH, RANGE 16 EAST, AUTAUGA COUNTY, ALABAMA

SOURCE OF INFORMATION:
FOLLOWING DEEDS AND OR PLATS RECORDED IN AUTAUGA COUNTY, ALABAMA:

- RLPY 2014, PAGE 1774
- AUTAUGA COUNTY TAX MAPS

ATTACHMENT B



VICINITY MAP NTS



119 W MAIN ST NTS

MONUMENTATIONS	ABBREVIATIONS	ABBREVIATIONS
⊙ - FOUND IRON PIN	AC - ACRES / SQ. FT. - SQUARE FEET	CONC - CONCRETE
⊙ - SET IRON PIN (ALS-0173)	(DLX) - RECORDED DISTANCE / BEARING	DR - DRAINAGE
⚡ - CALCULATED POINT	FLD - FIELD MEASURED DISTANCE / BEARING	PR - PLAT BOOK
⊠ - CONCRETE MONUMENT	ROW - RIGHT OF WAY	DE - DEED BOOK
⊠ - FENCE POST	UTIL - UTILITY	PG - PAGE
	ESMT - EASEMENT	
LINE TYPES		
---	EASEMENT LINE	
---	FENCE LINE	
---	ADJOINING PROPERTY	
---	RIGHT OF WAY LINE	

Alabama Land Surveyors, Inc.
752 S Memorial Drive, Prattville, AL 36067
334-264-0268 www.alabamalandsurveyors.us

SHEET TITLE: RETRACEMENT SURVEY	NO.	REVISIONS	DATE
SHEET NUMBER: 01			
SURVEY END DATE: 7/13/2015			
DRAWING SCALE: AS SHOWN			
DRAWING END DATE: 7/16/2015			

119 W MAIN STREET
PRATTVILLE
ALABAMA
RLPY 2014, PG 1774

STATE OF ALABAMA
AUTAUGA COUNTY

I, JAMES D. MONK, A PROFESSIONAL LAND SURVEYOR OF ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE CURRENT STANDARDS OF PRACTICE OF SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY SIGNATURE AND SEAL THIS THE 16TH DAY OF JULY, 2015.

J.D. Monk
JAMES D. MONK, P.L.S., ALABAMA LICENSE NO. 34763

ATTACHMENT B



Sample photo of steel door with steel pipe handrail.

ATTACHMENT B



SAMPLE corrugated sheet FOR RELEASED AREA.

ATTACHMENT B



Alabama Steel Supply, Inc.

A Century of Evolving Steel Related Businesses

P.O. Box 11251 / 2 West Blvd.
Montgomery, AL 36111-0251

334-834-1505 (Office)
334-834-7777 (Fax)

www.alabamasteel.com



Barn Red
26 & 29 gauge



Saddle Tan
26 & 29 gauge



Forest Green
26 & 29 gauge



Charcoal Gray
26 & 29 gauge



Ash Gray
26 & 29 gauge



Light Stone
26 & 29 gauge



Burnished Slate
26 & 29 gauge



Koko Brown
26 & 29 gauge



Black
26 & 29 gauge



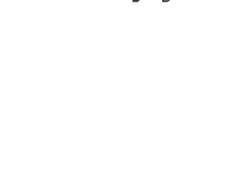
White
26 & 29 gauge



Hawaiian Blue
26 gauge only



Burgundy
26 & 29 gauge



Crimson Red
26 & 29 gauge



Colony Green
26 gauge only



Desert Sand
26 & 29 gauge



Gallery Blue
26 & 29 gauge



Fern Green
26 & 29 gauge



Buckskin
29 gauge only



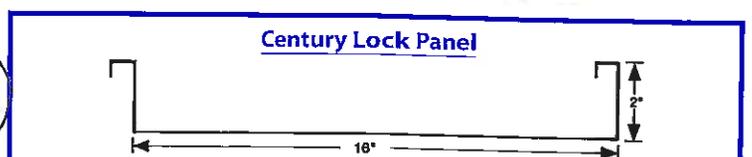
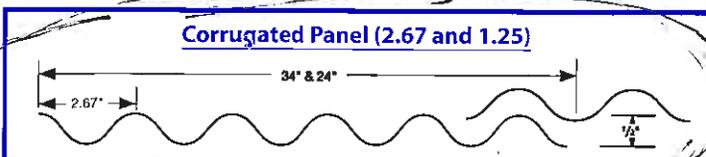
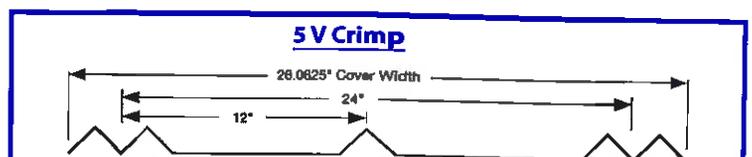
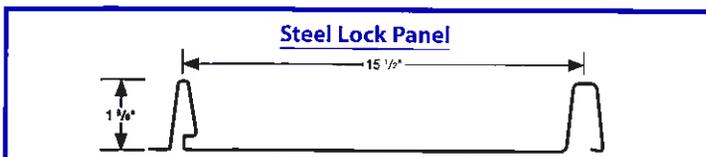
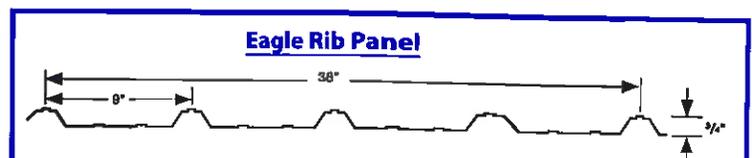
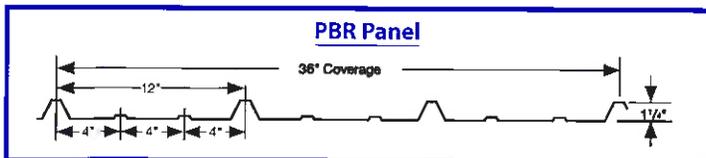
Galvalume
26 & 29 gauge



***Copper Metallic**
26 & 29 gauge

Actual color may vary slightly from color samples shown. If color choice is critical, request an actual color sample.

*Additional charge for metallic paint



* ADDITIONAL * Building Photographs

See Instructions for Item A6.

ATTACHMENT B

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
119 W Main Street

Policy Number:

City Prattville State AL ZIP Code 36067

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front View, Photo date: 7/15/2015



Side view at split, Photo Date: 7/15/2015

← Existing Conditions



Side View, Photo Date: 7/15/2015

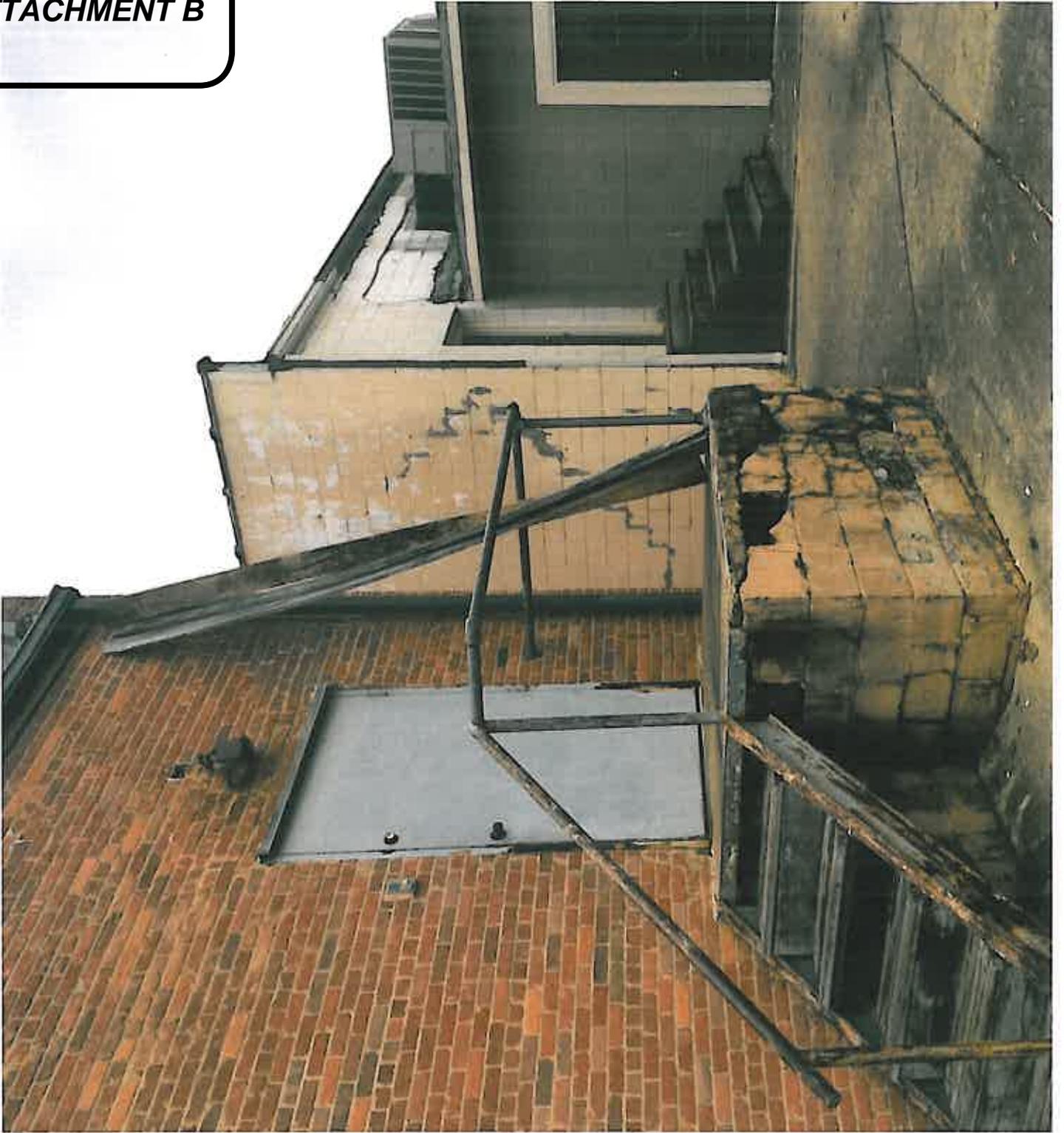
ATTACHMENT B

Stathopoulos, George

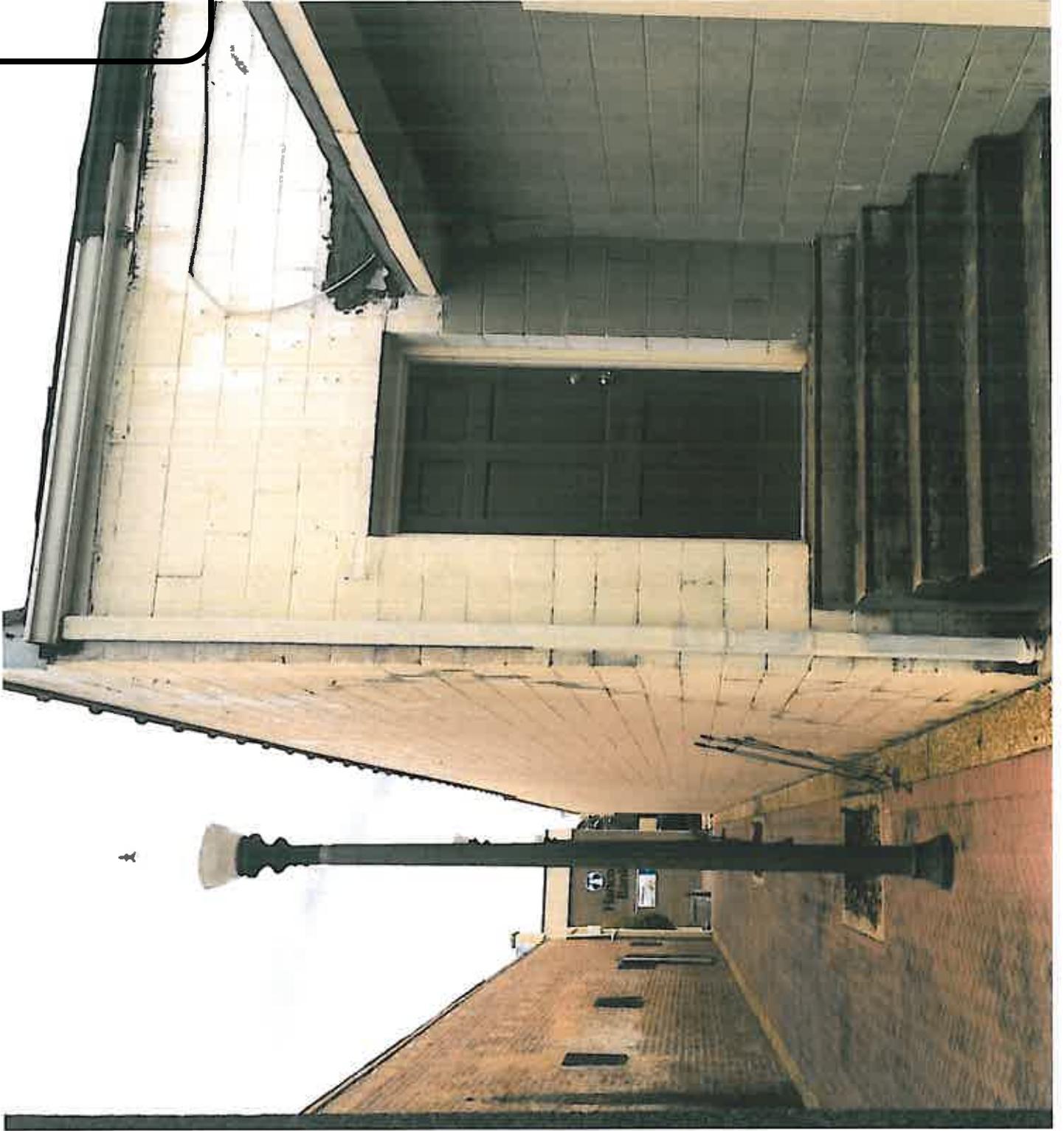
From: Charles Sanderson <charles@crossfitsquared.com>
Sent: Wednesday, December 02, 2015 1:50 PM
To: Stathopoulos, George
Subject: 119 W Main St



ATTACHMENT B



ATTACHMENT B





ATTACHMENT B



